

MAX SITE COVER:	SITE AREA:	BUILDING AREA:	SITE COVER ACHIEVED:	LOCAL AUTHORITY:	WIND RATING:	NOISE CAT:	BAL RATING:	SOIL CLASS:	GAS SOURCE:	INTERNET:	ROOF MATERIAL:	SLAB THICKNESS:	GF CEILING:	FF CEILING:	BUILD TYPE:	CONSTRUCTION TYPE:
60%	504m ²	254.9m ²	50%	Toowoomba Regional Council	N/A	N/A	12.5	N/A	N/A	NBN	COLORBOND	385	2440	2440	DUPLEX/TRIPLEX	TWO STOREY

COLOUR SCHEDULE	
	SEWER LINE
	STORMWATER LINE
	WATER LINE
	NBN LINE
	ELECTRICAL LINE
	EASEMENT

NOTE: REFER TO PLUMBING AND DRAINAGE PLAN FOR SERVICES INFO

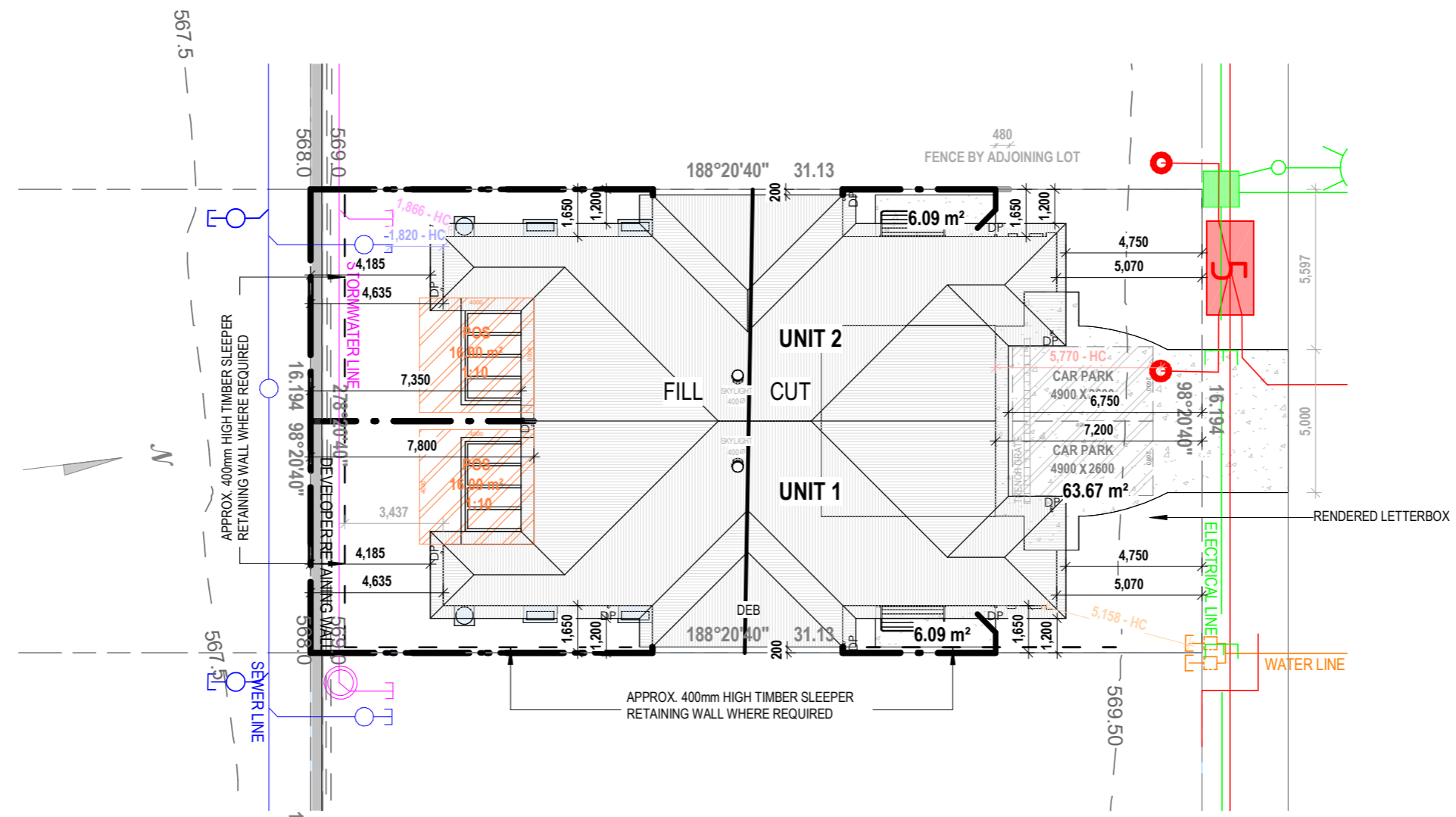
RECEIVED
27/02/2025
TOOWOOMBA REGIONAL COUNCIL

STRUCTURAL FOOTINGS DISCLAIMER
STRUCTURAL FOOTINGS ARE TO BE A MINIMUM 1200mm HORIZONTALLY FROM SEWER AND STORMWATER INFRASTRUCTURE INCLUDING HOUSE CONNECTION AND BE FOUNDED A MINIMUM 300mm BELOW THE ZONE OF INFLUENCE.

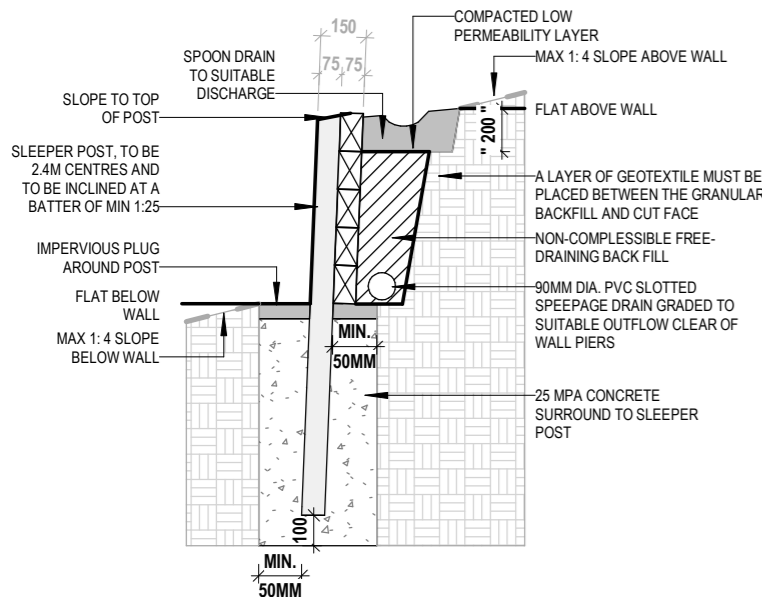
FLOOR LEVELS
ALL FLOOR LEVELS AND OTHER SITE SPECIFIC DETAILS ARE DESIGN DETAILS ONLY AND ARE SUBJECT TO CHANGE DUE TO CONSTRUCTION TOLERANCES AND SITE VARIABLES.

NBN ESTATE
NBN ESTATE - NATIONAL BROADBAND NETWORK. PLEASE THE JOB SUPERVISOR TO ENSURE THE CORRECT METHOD OF INSTALLATION IS IMPLEMENTED.

OPTIC FIBRE ESTATE
OPTIC FIBRE ESTATE - PLEASE SEE THE JOB SUPERVISOR TO ENSURE THE CORRECT METHOD OF INSTALLATION IS IMPLEMENTED.



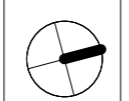
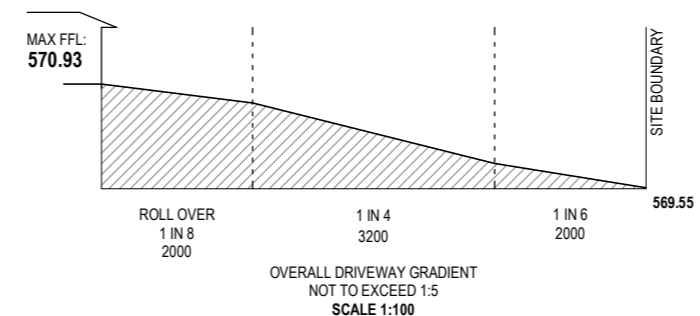
COMMON PROPERTY



RETAINING WALL DETAIL
1 : 25

ALL REQUIRED FENCING TO BE TIMBER RAIL & PALING 1800H WITH ACCESS GATES AS SHOWN.

PROPOSED
RL: 569.3
FFL: 569.869



CLIENT:

PROJECT:
Lot 50 Glenvale Willows Estate .
GLENVALE . QLD . 4350
JOB NO: 159251 | WD.GS VER.: 2.0

SP/DP/PS:
DESIGN: CUSTOM
FACADE: H1
SCALE: As indicated @ **A3**

REVISIONS: **VER.01**
DATE: 11/02/25
ISSUE: PRELIM DRAWINGS

INSPIRE 3.0
NCC LIVABLE COMPLIANT

MAX SITE COVER:	SITE AREA:	BUILDING AREA:	SITE COVER ACHIEVED:	LOCAL AUTHORITY:	WIND RATING:	NOISE CAT:	BAL RATING:	SOIL CLASS:	GAS SOURCE:	INTERNET:	ROOF MATERIAL:	SLAB THICKNESS:	GF CEILING:	FF CEILING:	BUILD TYPE:	CONSTRUCTION TYPE:
60%	504m ²	254.9m ²	50%	Toowoomba Regional Council	N/A	N/A	12.5	N/A	N/A	NBN	COLORBOND	385	2440	2440	DUPLEX/TRIPLEX	TWO STOREY

LIVABLE HOUSING DESIGN STANDARD:
INTERNAL GROUND LEVEL HABITABLE ROOMS, LAUNDRY, SANITARY, AND BATHROOM WITH SHOWER TO MAINTAIN ZERO THRESHOLDS AS PER PART 3.2 LIVABLE HOUSING DESIGN STANDARD.

HOBLESS AND STEP-FREE ENTRY TO SHOWER DESIGN AS PER PART 5.2 LIVABLE HOUSING DESIGN STANDARD.

BLOCKING LOCATIONS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 5.1 LIVABLE HOUSING DESIGN STANDARD.

REFER TO INTERNAL ELEVATIONS FOR LOCATION OF REINFORCEMENT NOGGING

CENTER WINDOW
UNLESS DIMENSIONED ALL WINDOWS ARE TO BE CENTERED TO THE ROOM IN WHICH THEY ARE LOCATED. IF A WINDOW IS NOT CENTERED OR DIMENSIONED - ASK THE JOB SUPERVISOR

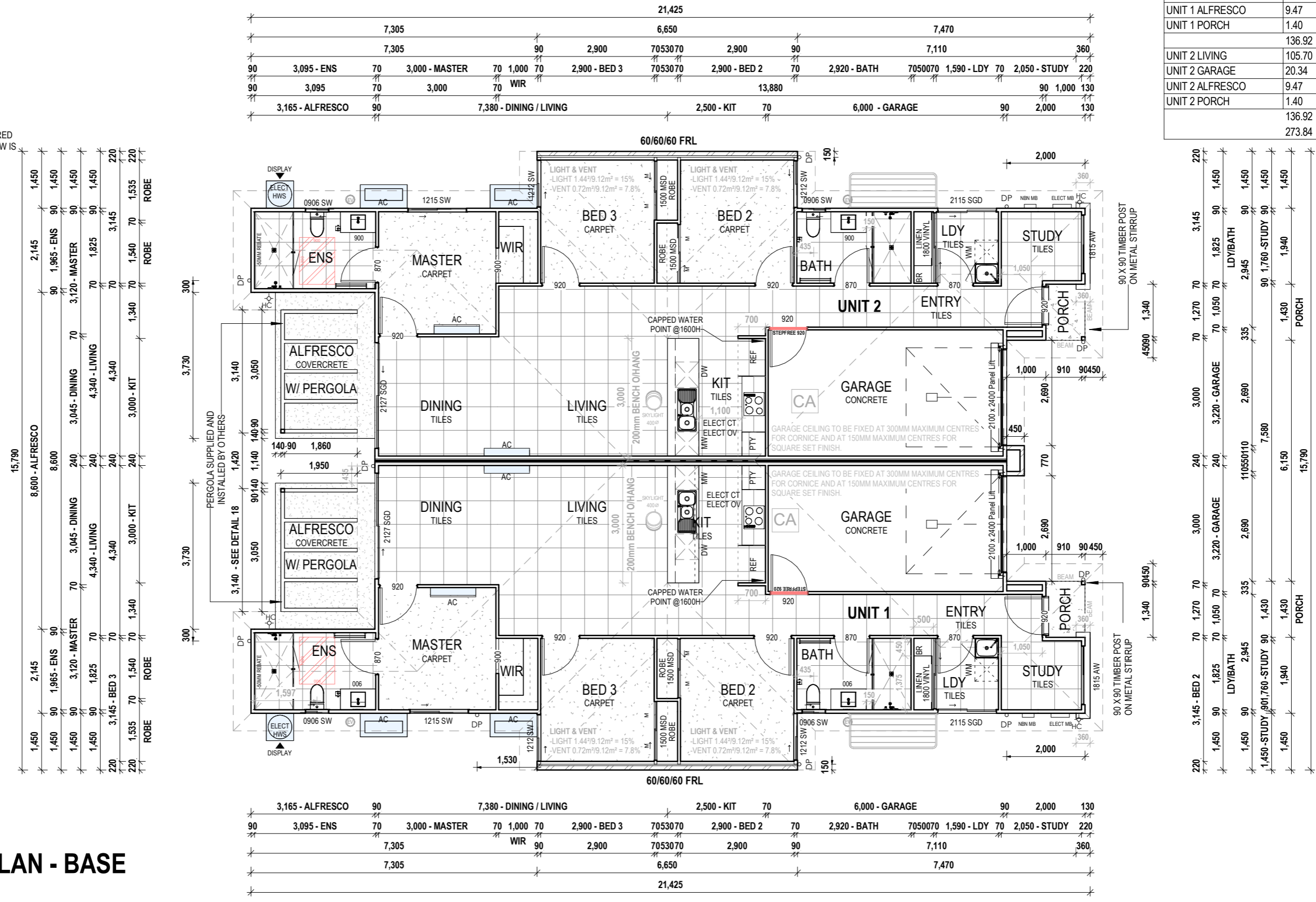
DOOR HINGES
LIFT OFF DOOR HINGES TO W/C DOOR/S TO COMPLY WITH WITH 10.4.2 OF THE ABCB HOUSING PROVISIONS STANDARD 2022.

GARAGE DOOR
GARAGE DOORS TO COMPLY WITH 2.2.4 OF THE ABCB HOUSING PROVISIONS STANDARD 2022.

NOTE:
NON-COMBUSTIBLE VERTICAL LINING TO BE INSTALLED IN COMMON EAVES AS PER 9.3.1 OF THE ABCB HOUSING PROVISIONS STANDARD 2022.

NOTE: WALL AND CEILING INSULATION MAY BE REQUIRED. REFER TO THE INSULATION PLAN

FLOOR AREAS	
Names	Area m2
UNIT 1 LIVING	105.70
UNIT 1 GARAGE	20.34
UNIT 1 ALFRESCO	9.47
UNIT 1 PORCH	1.40
	136.92
UNIT 2 LIVING	105.70
UNIT 2 GARAGE	20.34
UNIT 2 ALFRESCO	9.47
UNIT 2 PORCH	1.40
	136.92
	273.84



GROUND FLOOR PLAN - BASE

1 : 100

MAX SITE COVER:	SITE AREA:	BUILDING AREA:	SITE COVER ACHIEVED:	LOCAL AUTHORITY:	WIND RATING:	NOISE CAT:	BAL RATING:	SOIL CLASS:	GAS SOURCE:	INTERNET:	ROOF MATERIAL:	SLAB THICKNESS:	GF CEILING:	FF CEILING:	BUILD TYPE:	CONSTRUCTION TYPE:
60%	504m ²	254.9m ²	50%	Toowoomba Regional Council	N/A	N/A	12.5	N/A	N/A	NBN	COLORBOND	385	2440	2440	DUPLEX/TRIPLEX	TWO STOREY

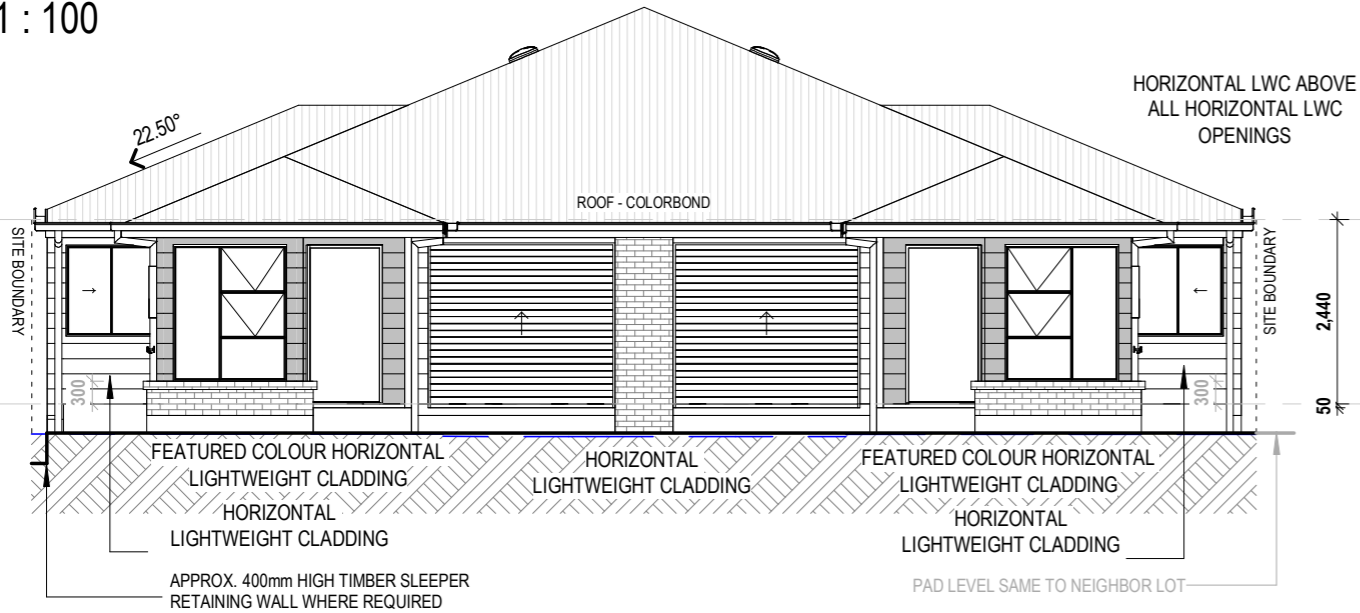
TERMITE MANAGEMENT SYSTEM - ELEVATIONS
 SLAB PENETRATIONS SMARTFILM/TERMIFANGE - PERIMETER SMARTFILM (UNLESS UPGRADE TO TERMIMESH) TERMITE MANAGEMENT TO BE IN ACCORDANCE WITH NCC PART 3.1.3 & AS 3660 PART 1 - 2000/2014.

NOTE: ADDITIONAL SHEET CAN BE ADDED IF REQUIRED/NOT FIT

- METERS' GENERAL RULES**
- GAS METER MUST BE AT LEAST 300MM ABOVE GROUND LEVEL
 - GAS METER MUST BE AT LEAST 1000MM FROM AN OPENING
 - ELECTRICAL BOX MUST BE AT LEAST 500MM ABOVE GAS BOX
 - EARTH STAKE MUST BE MINIMUM 1000MM FROM GAS METER
 - ELECTRICAL METER MUST BE NO MORE THAN 1900MM ABOVE GROUND LEVEL
 - GAS METER MUST HAVE MINIMUM 500MM FROM ELEC/TELECOMMUNICATIONS BOX AND 100MM FOR DOWNPIPE CLEARANCE
 - ELECT MB AND NBN BOX TO BE 1100MM ABOVE FINISH GROUND LINE
 - GAS METER TO BE MAX. 1M FROM FRONT OF HOUSE

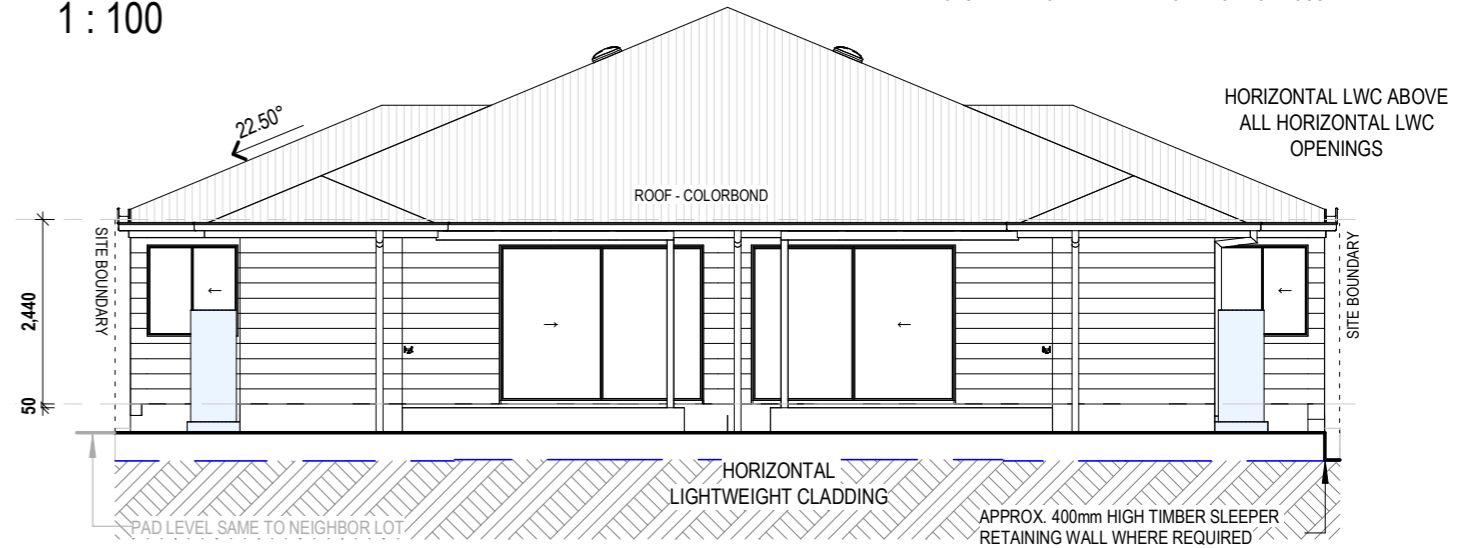
ELEVATION A

1 : 100



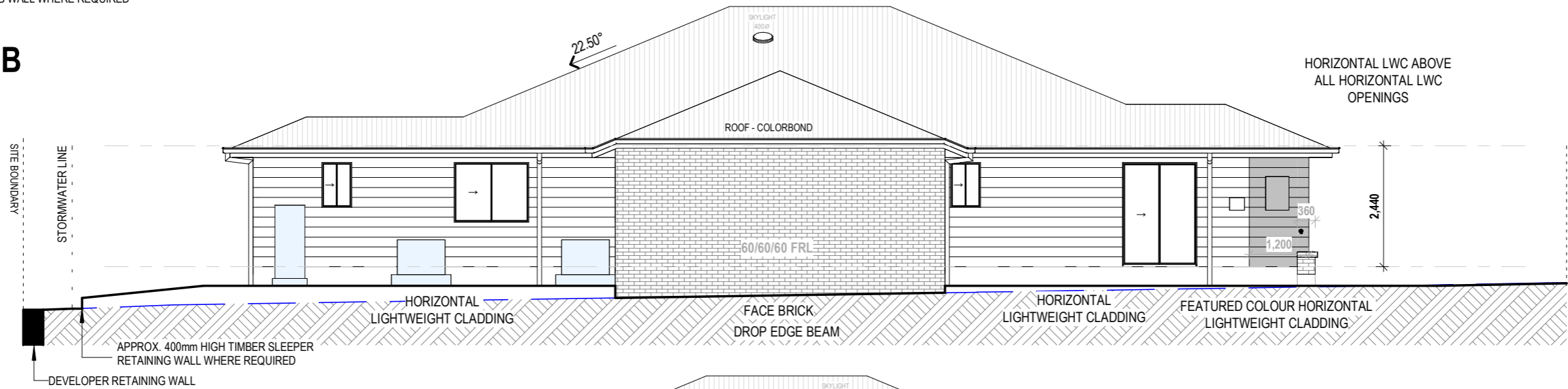
ELEVATION C

1 : 100



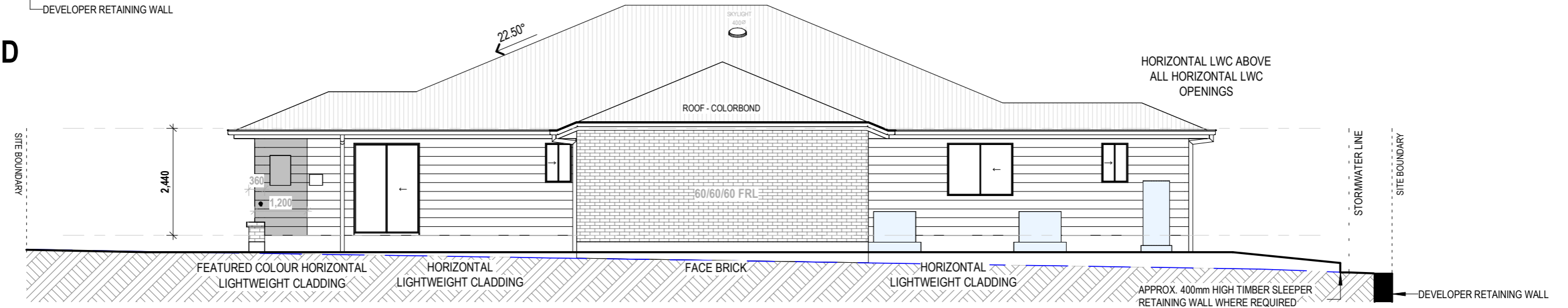
ELEVATION B

1 : 100



ELEVATION D

1 : 100



CLIENT:

PROJECT:
 Lot 50 Glenvale Willows Estate .
 GLENVALE . QLD . 4350
 JOB NO: 159251 | WD.GS VER.: 2.0

SP/DP/PS:
 DESIGN: CUSTOM
 FACADE: H1
 SCALE: 1 : 100 @ A3

REVISIONS: **VER.01**
 DATE: 11/02/25
 ISSUE: PRELIM DRAWINGS

INSPIRE 3.0
NCC LIVABLE COMPLIANT

LANDSCAPING

LEGEND	TYPE	POT SIZE	COUNT
	Plant 1	300mm	5
	Plant 2	300mm	6
	Plant 3	140mm	7
	Plant 4	140mm	6
	Tree 1	2000L	1

25

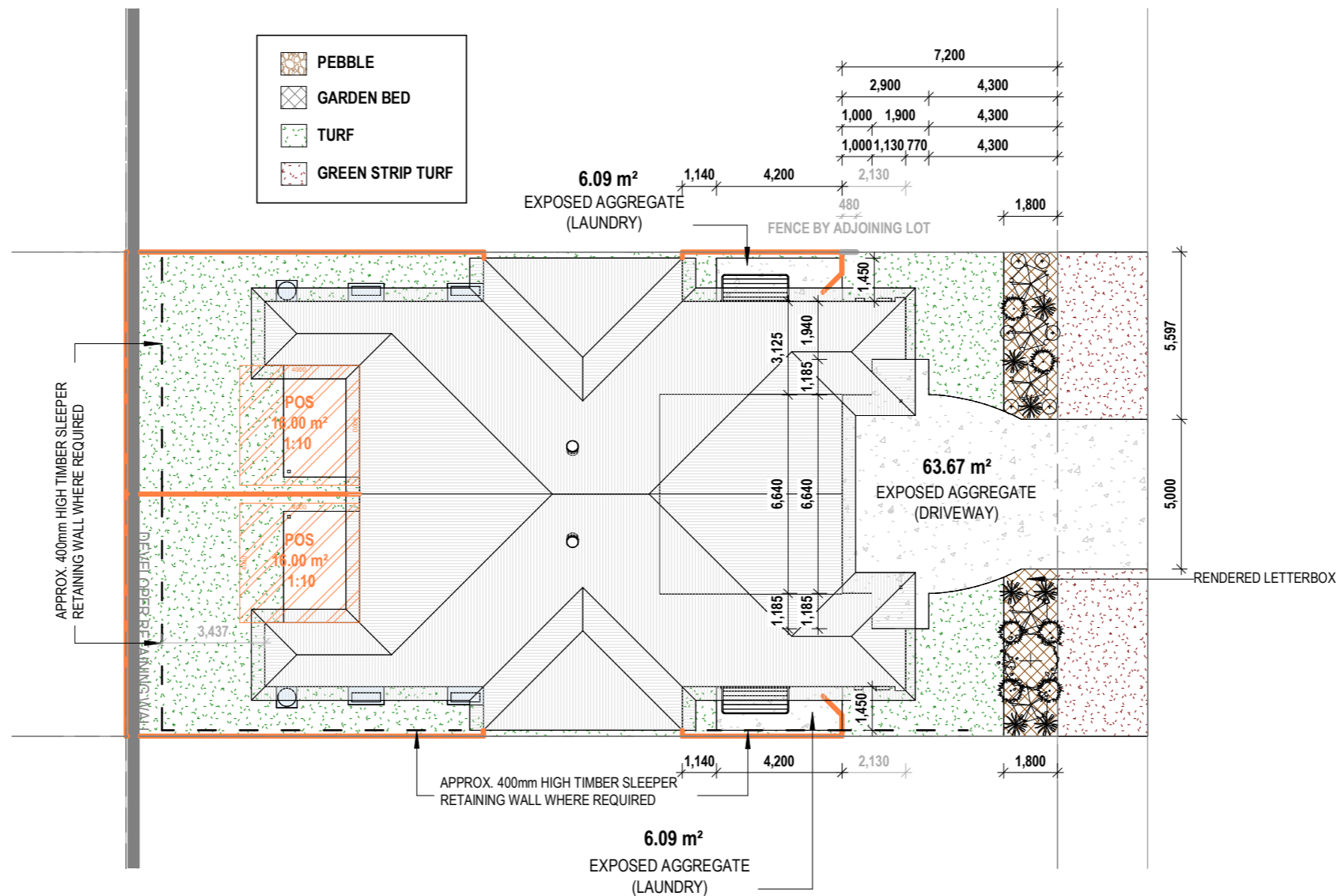
AREA SCHEDULES

LEGEND	MATERIAL	AREA
	GARDEN BED	19.97 m ²
	GREEN STRIP TURF	33.75 m ²
	TURF	149.06 m ²

FENCE SCHEDULE

LOCATION	LENGTH
DIVIDING FENCE	7.8 m
LH	17.68 m
LH RETURN	1.61 m
REAR	16.19 m
RH	17.72 m
RH RETURN	1.61 m

FENCE SCHEDULE DISCLAIMER
ACTUAL FENCE PERIMETER TO BE CONFIRMED ON SITE



ALL REQUIRED FENCING TO BE TIMBER RAIL & PALING 1800H WITH ACCESS GATES AS SHOWN.

THE PROPOSED TREE MUST BE CAPABLE TO ACHIEVE A HEIGHT OF AT LEAST 6.0 METERS AND A CANOPY SPREAD OF AT LEAST 5.0 METERS AT MATURITY.

